

# Design & Access Statement



5 Nicholas Street,  
Burnley,  
BB11 2AQ

Prepared by Hussain Architectural Design Ltd  
For Kay and Sons Ltd

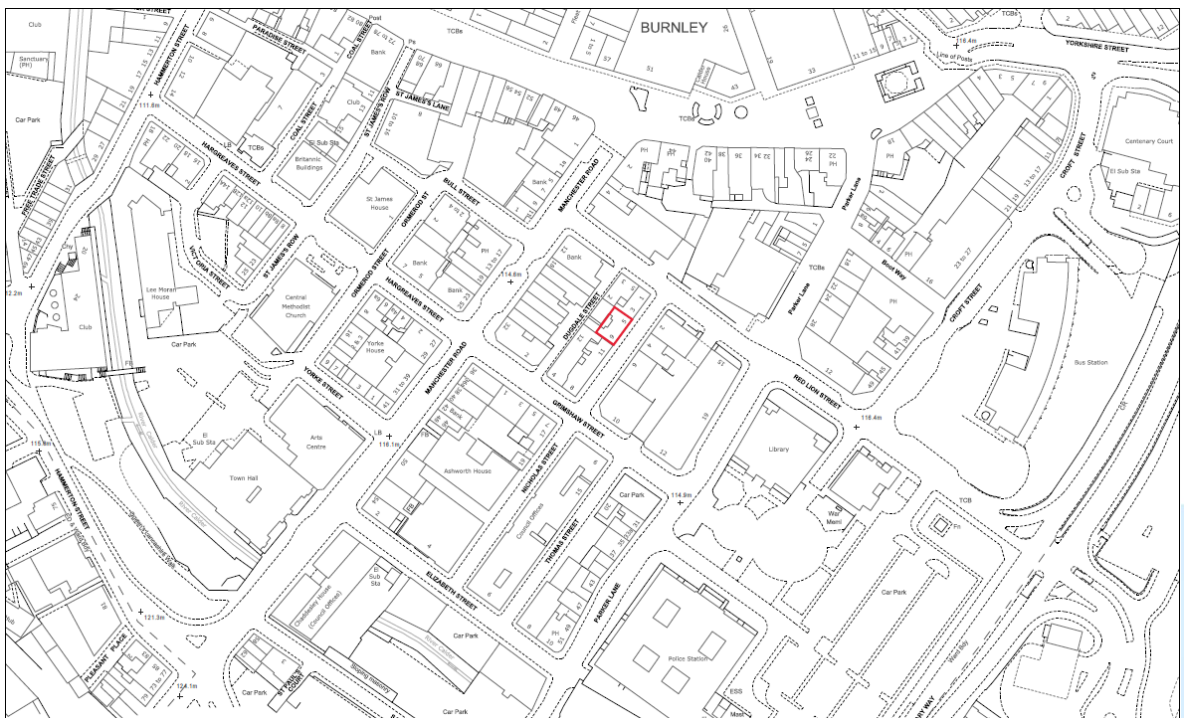


# 1. Introduction

1.1 This Design and Access Statement has been written to support and explain the proposed change of use at 5 Nicholas Street, Burnley, BB11 2AQ.

## 2. Site Context

- 2.1 The site is located on Nicholas Street, Burnley
- 2.2 The property consists of four floors (cellar, ground floor, first floor, second floor), and has an overall floor area of 308sqm
- 2.3 The site is situated mainly within Burnley's professional district, and is only minutes away from the town centre.
- 2.4 The applicant seeks to change the use of the existing building from offices to a 14 bed HMO.



(Site at 5 Nicholas Street red edged).

## 3. The Proposal

- 3.1 The purpose of this application aims to:
  - Change the use of the of vacant offices to a 14 bed HMO
  - To make effective use of the vacant building
  - To provide amenity space for residents and improve the local environment.



## 4. Design Principles

### Use

The site is located within the boundary of the town centre, and is located within walking distance of various local amenities:

- 0.3 miles from Manchester road train station – Links to Manchester/Yorkshire/ Preston, Blackpool, etc.
- 0.2 miles bus station / taxi ranks – Links to local travel such as Manchester, Colne, Blackburn, Skipton, etc.
- Two minute walk into the town centre – Approx. 150m
- 0.2 mile walk from the nearest supermarket
- 0.7 mile walk from the local college/university
- 0.6 mile walk from Turf Moor Football Ground

It is also a short distance from the towns direct motorway links.

The proposal has been designed to convert and make use of the vacant building. The scheme looks to appeal to the current demand of housing in the area, appealing to students with the university campus situated around 10 minutes away, to large employers such as Boohoo and Saffron who utilise quality HMO premises in the town centre for their contracted workers, and also to single professionals and couples who also occupy a large percentage of HMOs in Burnley.

### Amount

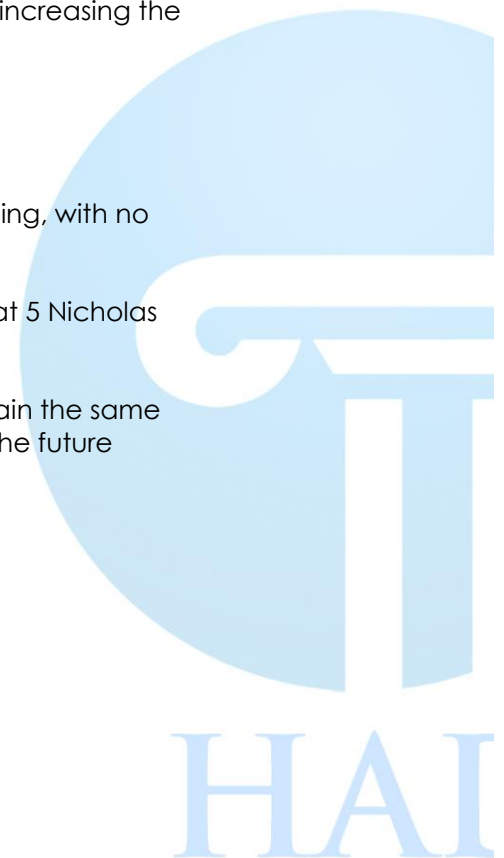
The proposed change of use will comprise of converting the building from 13 offices to a 14 bed HMO, this will increase the occupancy of the area which will have a positive impact on the local community by increasing the use of local amenities and public transport.

### Layout

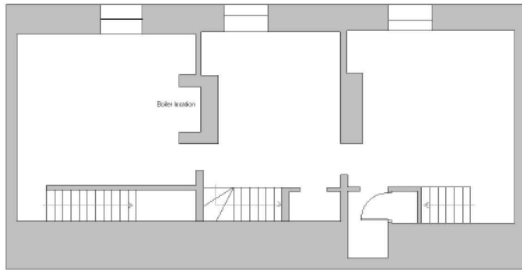
The proposal is based on the same layout of the existing building, with no additional floor space to be created.

Access to the building will be by the main entrance located at 5 Nicholas Street, which will lead into the ground floor area.

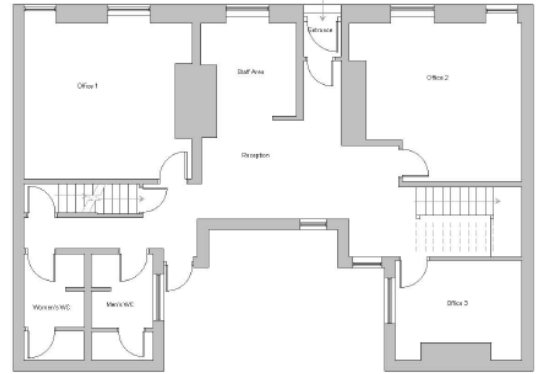
The existing stair case and floor layout of the building will remain the same allowing for a simple and easy navigation of the building for the future occupants.



EXISTING

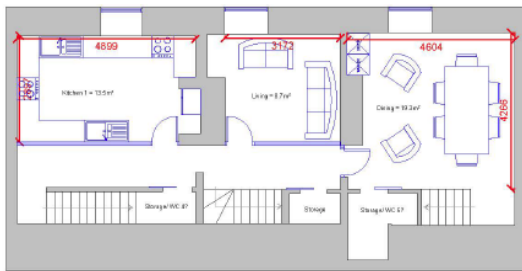


Cellar Floor Plan  
1:100 @ A3

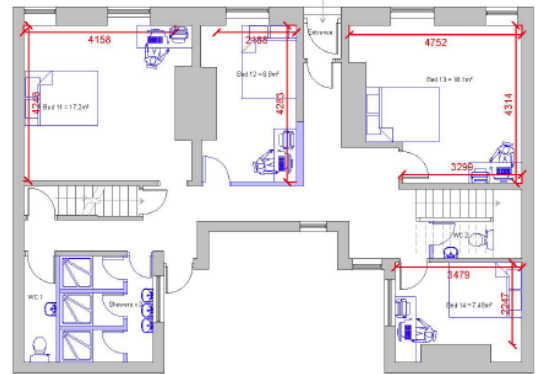


Ground Floor Plan  
1:100 @ A3

PROPOSED



Cellar Floor Plan  
1:100 @ A3

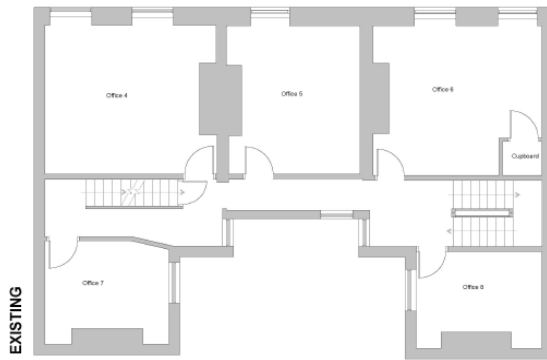


Ground Floor Plan  
1:100 @ A3

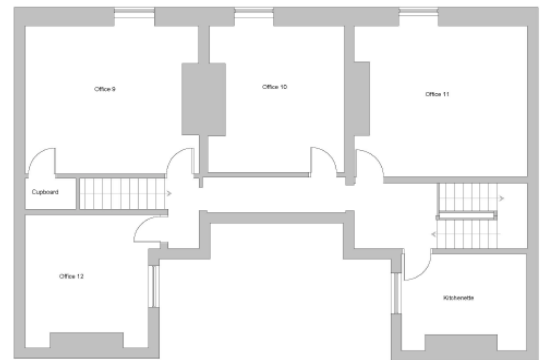
Cellar: The changes to the cellar include converting the empty space to a shared communal area which includes the facilities of a kitchen area, a living room, and a dining room. The design also includes either three storage rooms or two W.C.'s and one storage room. All occupants will have access to these facilities.

Ground floor: The ground floor changes consists of the conversion of to the current office area which consists of three offices, a staff area, a reception area, and two W.C.s, to four bedrooms, a shared shower room ( which consists of three shower facilities), and two separate W.C.'s.

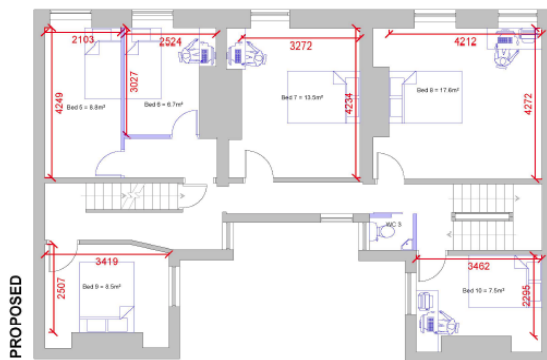




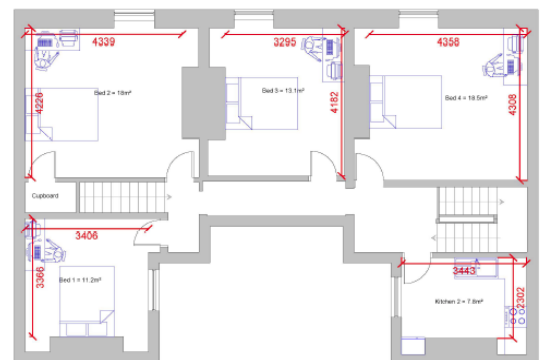
Existing  
First Floor Plan  
1:100 @ A3



Existing  
Second Floor Plan  
1:100 @ A3



Proposed  
First Floor Plan  
1:100 @ A3



Proposed  
Second Floor Plan  
1:100 @ A3

First floor: The first floor changes include converting the existing five office areas into six bedrooms, and a separate W.C.

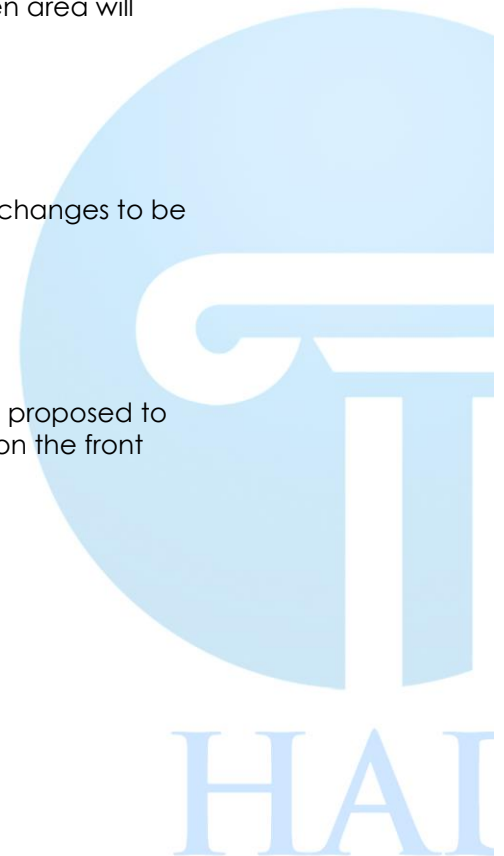
Second floor: The changes to the layout on the second floor are converting the existing four offices into four bedrooms. The existing kitchen area will remain the same and all occupants will have access to it.

### Scale

The scale of the whole building will remain the same, with no changes to be made to the size and massing of the proposed building.

### Appearance

The building is grade II listed, no material changes have been proposed to the building, apart from the reinstatement of the cellar windows on the front elevation.



## **Access**

Public transport: The site is located within close proximity to public transport links, with both Manchester Rd train station and Burnley bus station within walking distance of the site.

Vehicular access: There is existing on street parking available to the public outside the property which is available for a limited waiting time during daytime hours. There are also various pay and display car parks available in the area if needed.

Pedestrian access: The access onto the site will be by the main entrance located at 5 Nicholas Street.

## **Conclusion**

The proposal has been carefully designed to meet the client's brief as well as making sure the design fits within the local council's policies.

The proposal has also been designed to bring the current vacant building back into use, as well as providing residential space to the current market demand.

