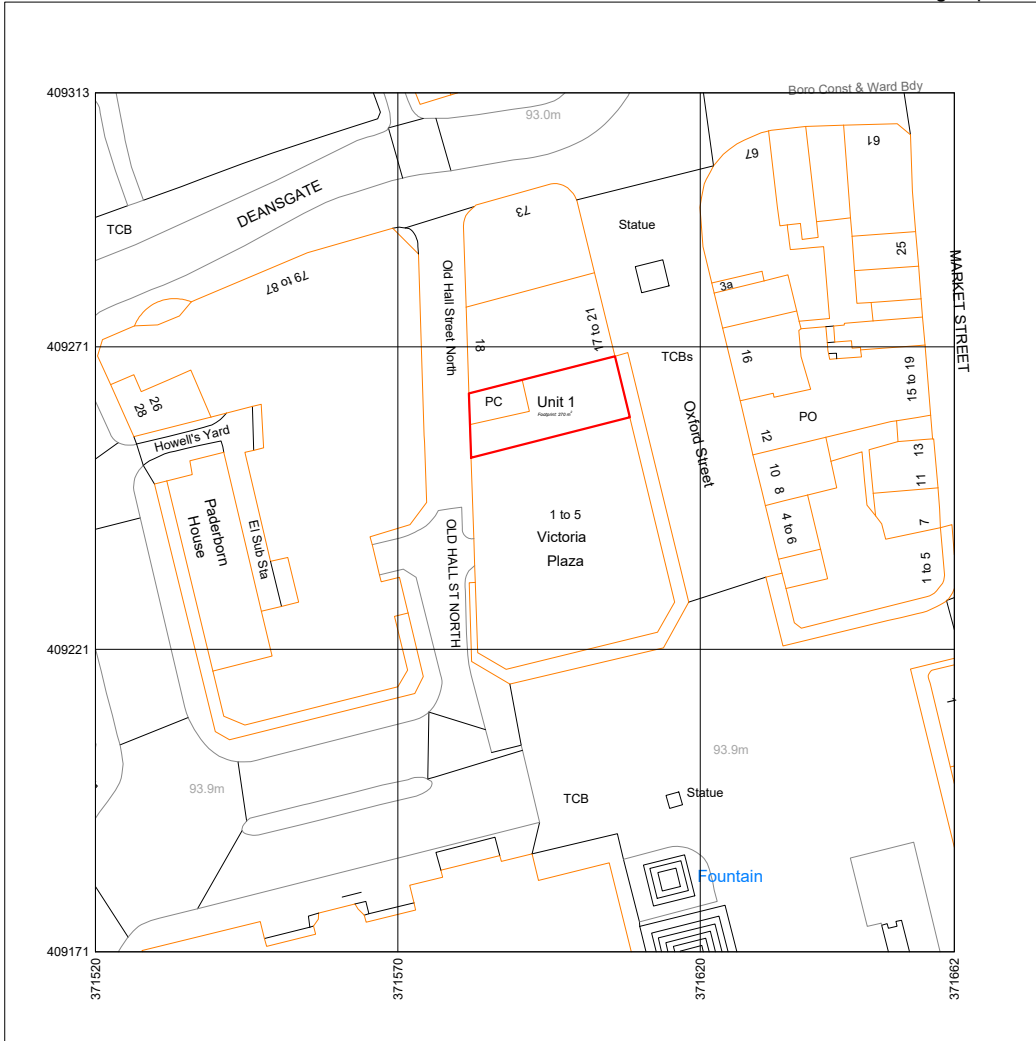




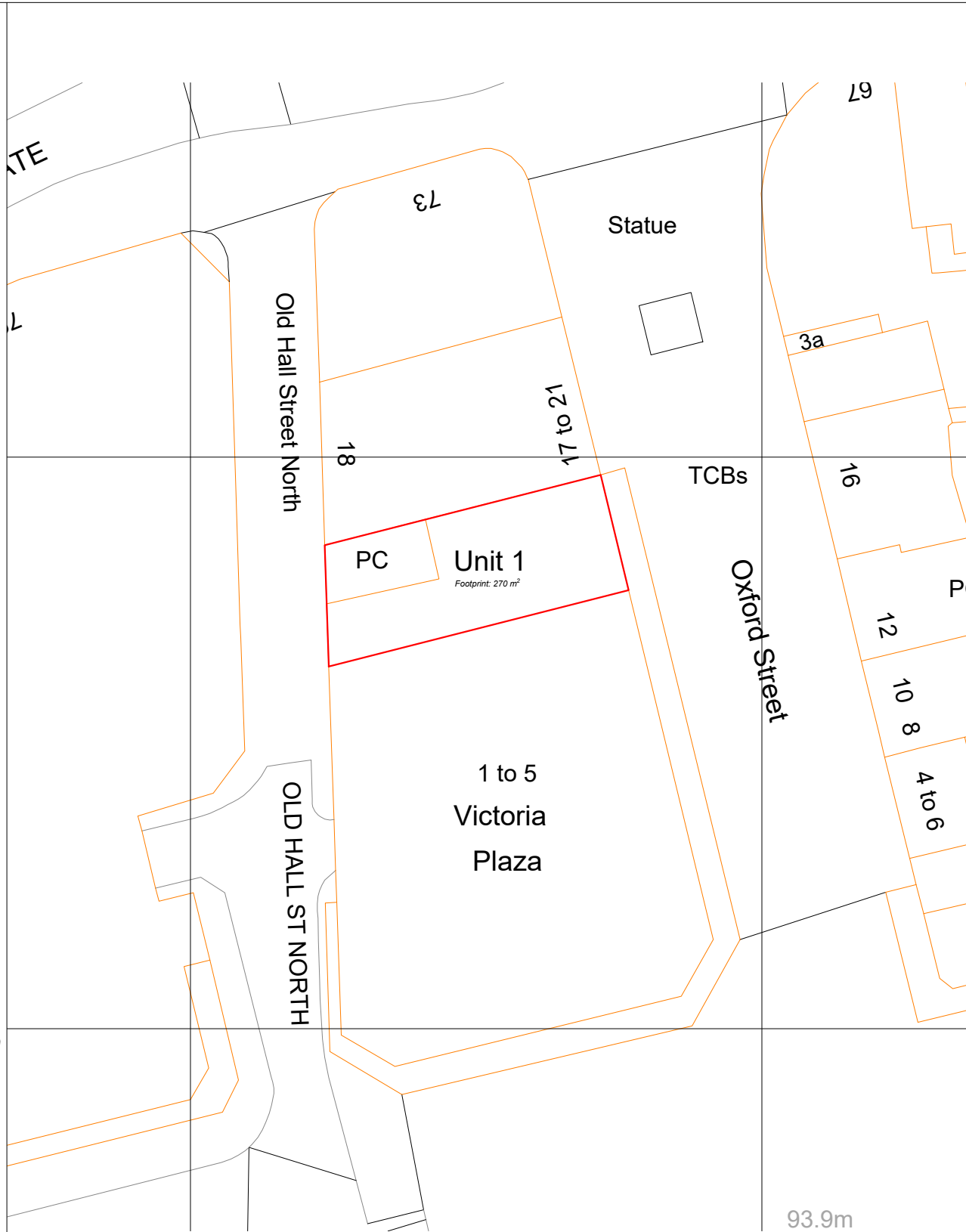
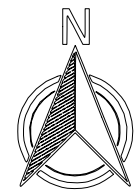
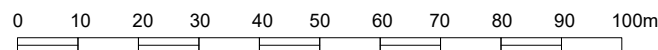
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www.UKPlanningMaps.com



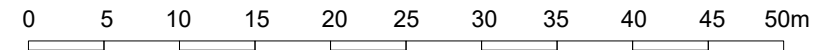
Produced on 05 January 2023 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date.  
This map shows the area bounded by 371520 409171, 371662 409171, 371662 409313, 371520 409313, 371520 409171  
Crown copyright and database rights 2023 OS 100054135. Supplied by copla ltd trading as UKPlanningMaps.com a licensed Ordnance Survey partner (OS 100054135).  
Data licence expires 05 January 2024. Unique plan reference: v2c/891471/1203267



Location Plan  
1:1250 @ A3



Site Plan  
1:500 @ A3



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**Revisions List:**

No.	Description	Date

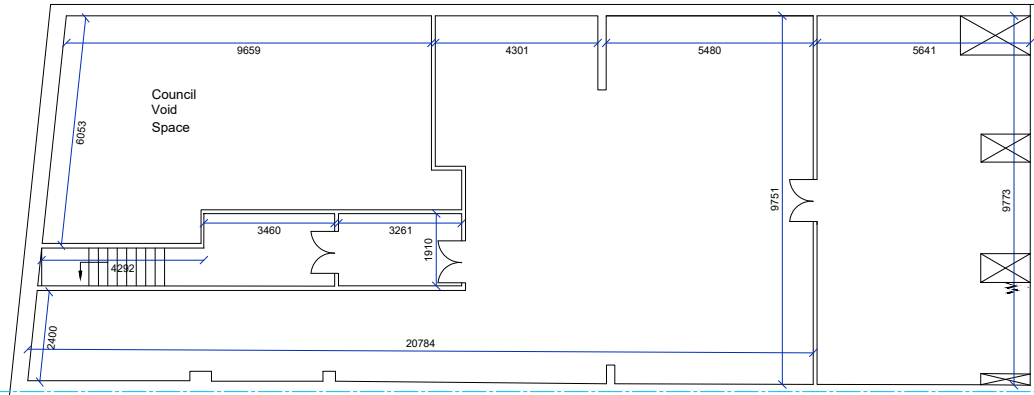
**HAD & Co.**  
www.hadmanchester.co.uk  
0161 327 2529

**Address:** Unit 1 Victoria Plaza,  
Oxford Street,  
Bolton,  
BL1 1RD

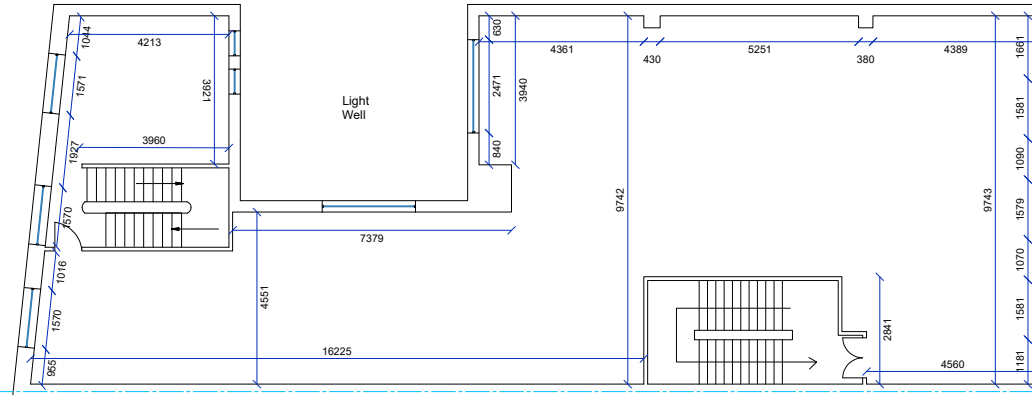
<b>Title:</b> Location & Site Plans	<b>Drawn:</b> HA
<b>Client:</b> Peter Wu	<b>Checked:</b>
<b>Date:</b> 06-01-2023	<b>Paper:</b> A3
<b>Drawing No:</b> HAD3452-01	<b>Scale:</b> 1:1250 & 1:500
<b>Revision:</b>	

**Unit 1 Victoria Plaza:**

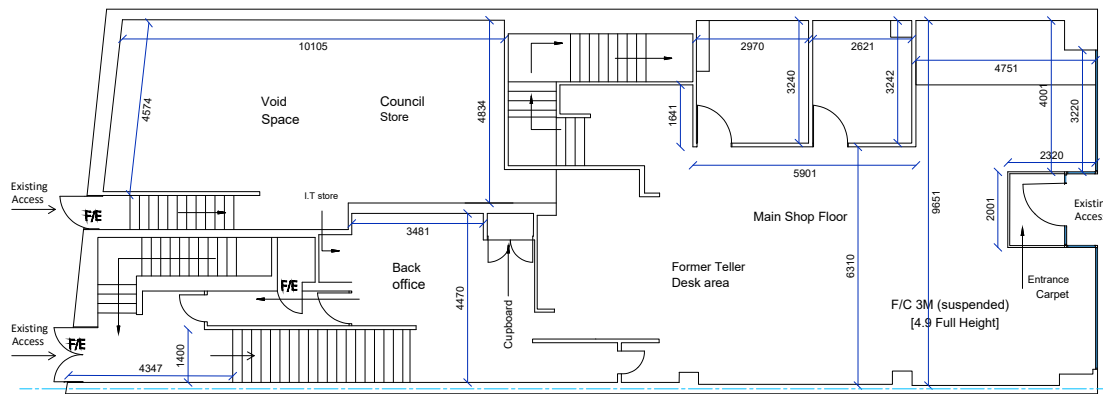
Total Area: 1181.5m<sup>2</sup> Commercial Use



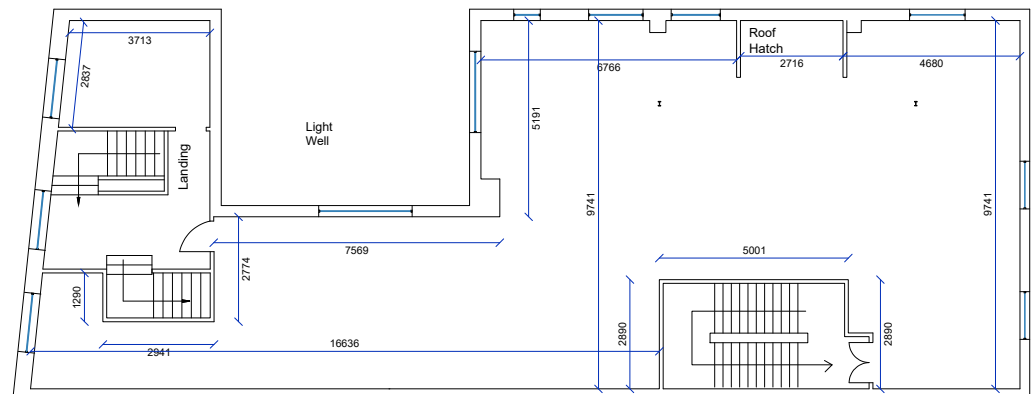
**Basement Floor Plan - No change proposed**  
(Area: 252.6 m<sup>2</sup>)  
1:200 @ A3



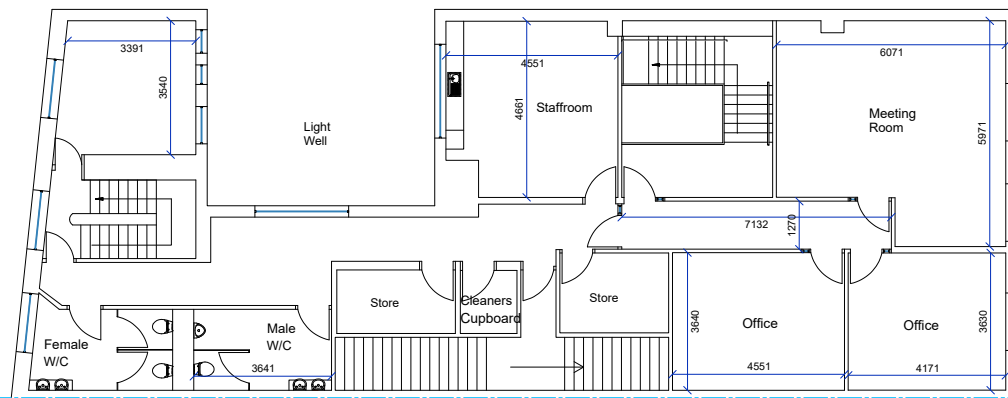
**Existing Second Floor Plan**  
(Area: 212.6 m<sup>2</sup>)  
1:200 @ A3



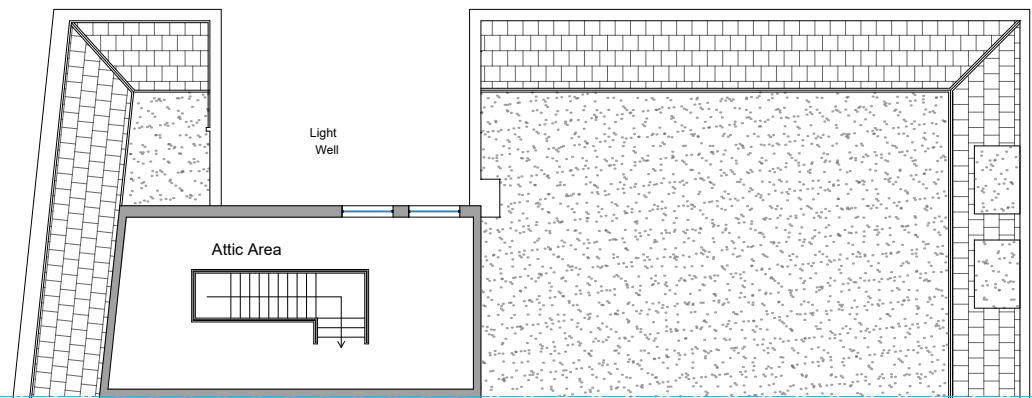
**Ground Floor Plan - No change proposed**  
(Area: 248.3 m<sup>2</sup>)  
1:200 @ A3



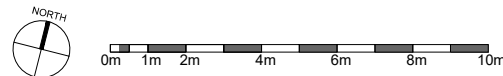
**Existing Third Floor Plan**  
(Area: 212.6 m<sup>2</sup>)  
1:200 @ A3



**First Floor Plan - No change proposed**  
(Area: 212.6 m<sup>2</sup>)  
1:200 @ A3



**Existing Roof Floor Plan**  
(Area: 42.8 m<sup>2</sup>)  
1:200 @ A3



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**Revisions List:**



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**Address:** Unit 1 Victoria Plaza,  
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Bolton,  
BL1 1RD

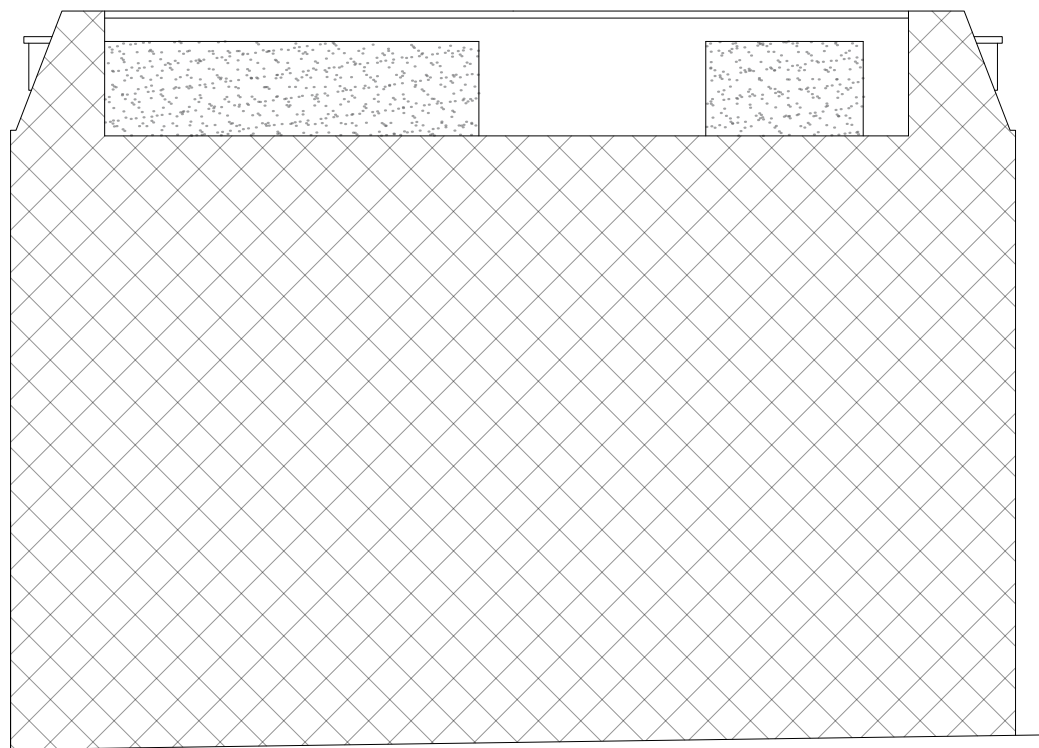
**Title:** Existing Plans **Drawn:** HA

**Client:** Peter Wu **Checked:**

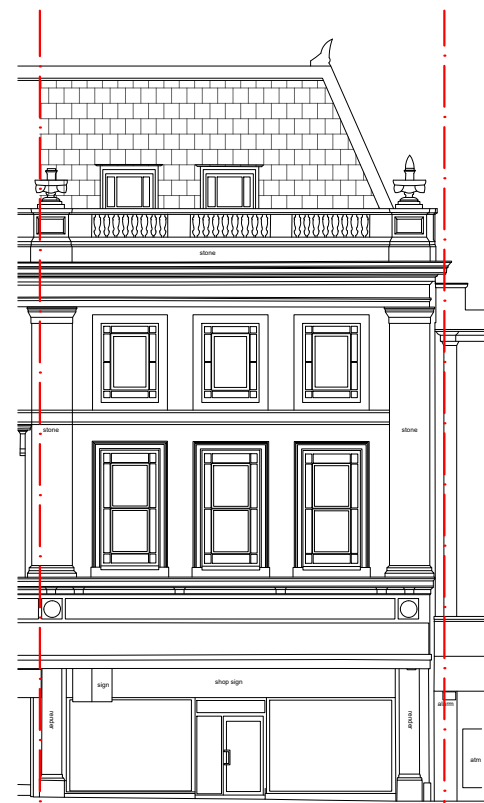
**Date:** 06-01-2023 **Paper:** A3

**Drawing No:** HAD3452-02 **Scale:** 1:200

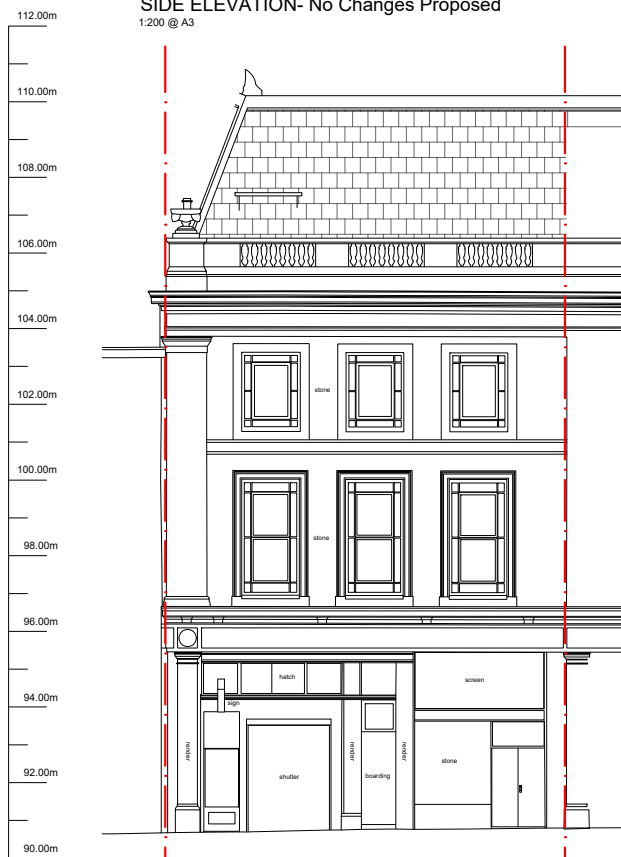
**Revision:**



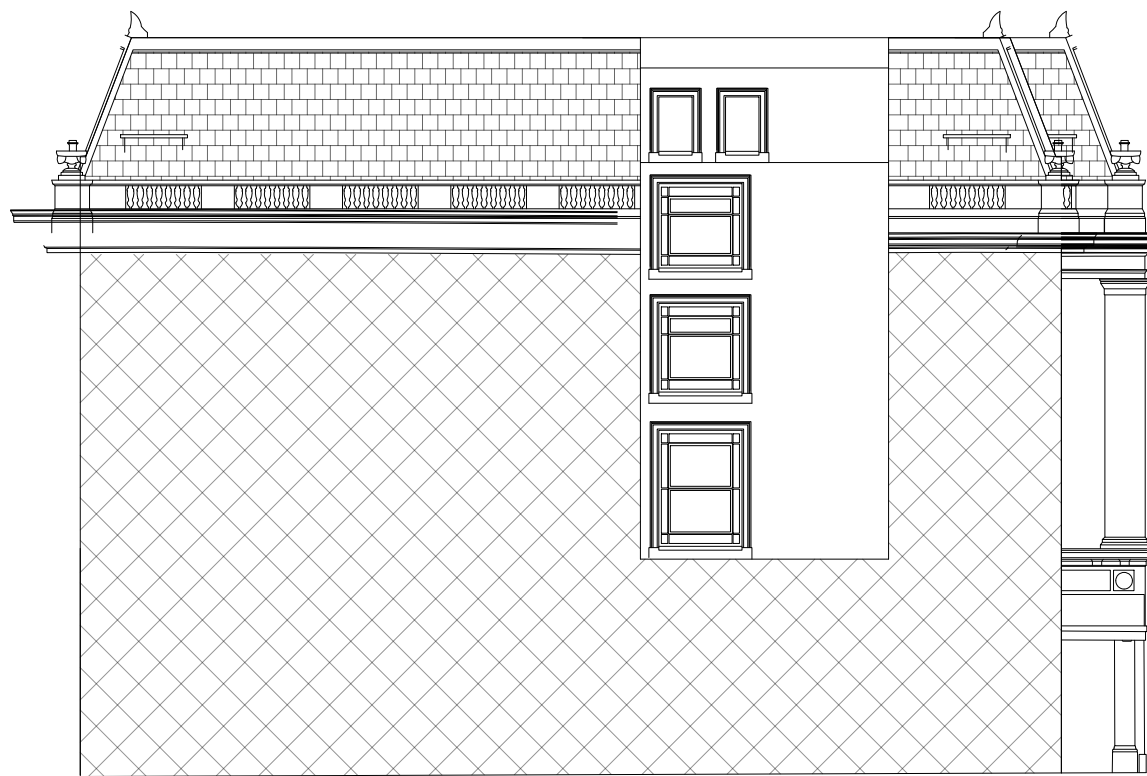
**SIDE ELEVATION- No Changes Proposed**  
1:200 @ A3



**FRONT ELEVATION TO OXFORD STREET- No Changes Proposed**  
1:200 @ A3



**REAR ELEVATION TO OLD HALL STREET NORTH - No Changes Proposed**  
1:200 @ A3



**EXISTING SIDE ELEVATION**  
1:200 @ A3

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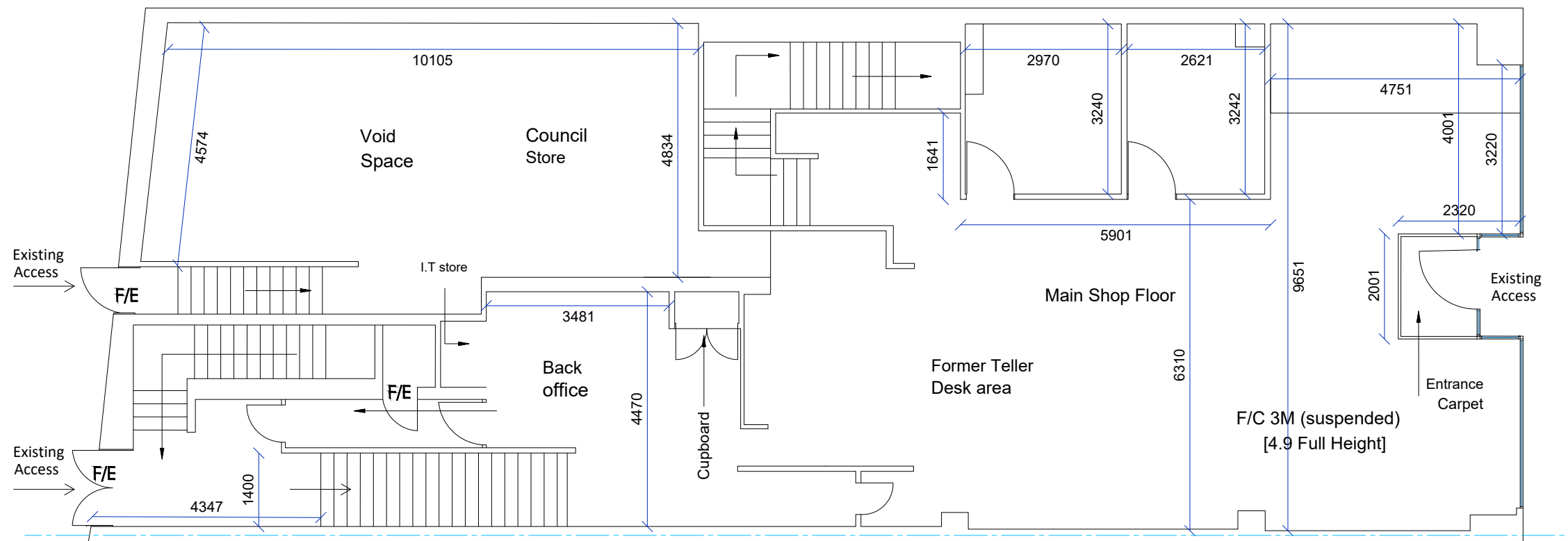
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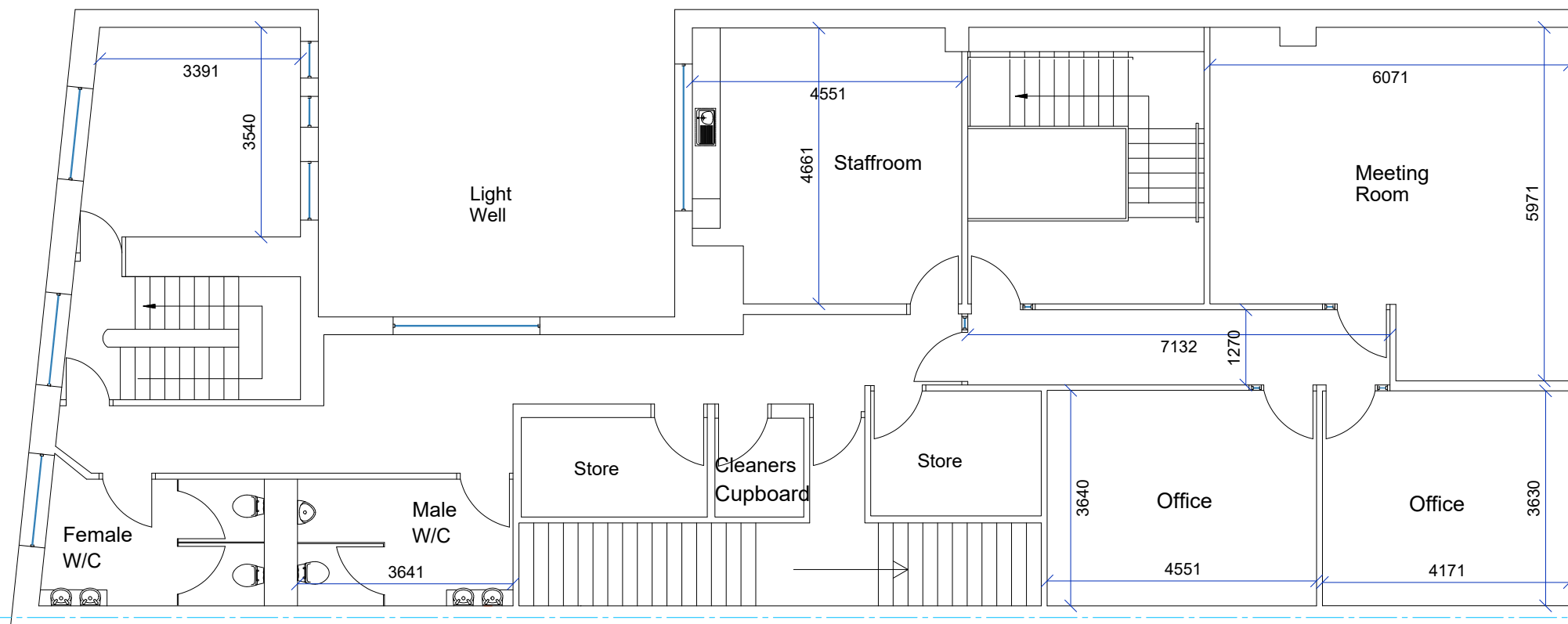
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<b>Revisions List:</b>	
 <b>HAD</b> <a href="http://www.hadmanchester.co.uk">www.hadmanchester.co.uk</a> 0161 327 2529	
<b>Address:</b> Unit 1 Victoria Plaza, Oxford Street, Bolton, BL1 1RD	
<b>Title:</b> Existing Elevations	<b>Drawn:</b> HA
<b>Client:</b> Peter Wu	<b>Checked:</b>
<b>Date:</b> 10-01-2023	<b>Paper:</b> A3
<b>Drawing No:</b> HAD3452-03	<b>Scale:</b> 1:200
<b>Revision:</b>	



**Ground Floor Plan - No changes proposed**  
(Area: 248.3 m<sup>2</sup>)



**First Floor Plan - No changes proposed**  
(Area: 212.6 m<sup>2</sup>)

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**HAD**

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**Address:** Unit 1 Victoria Plaza,  
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BL1 1RD

**Title:** Proposed Plans 01

**Drawn:** HA

**Client:** Peter Wu

**Checked:**

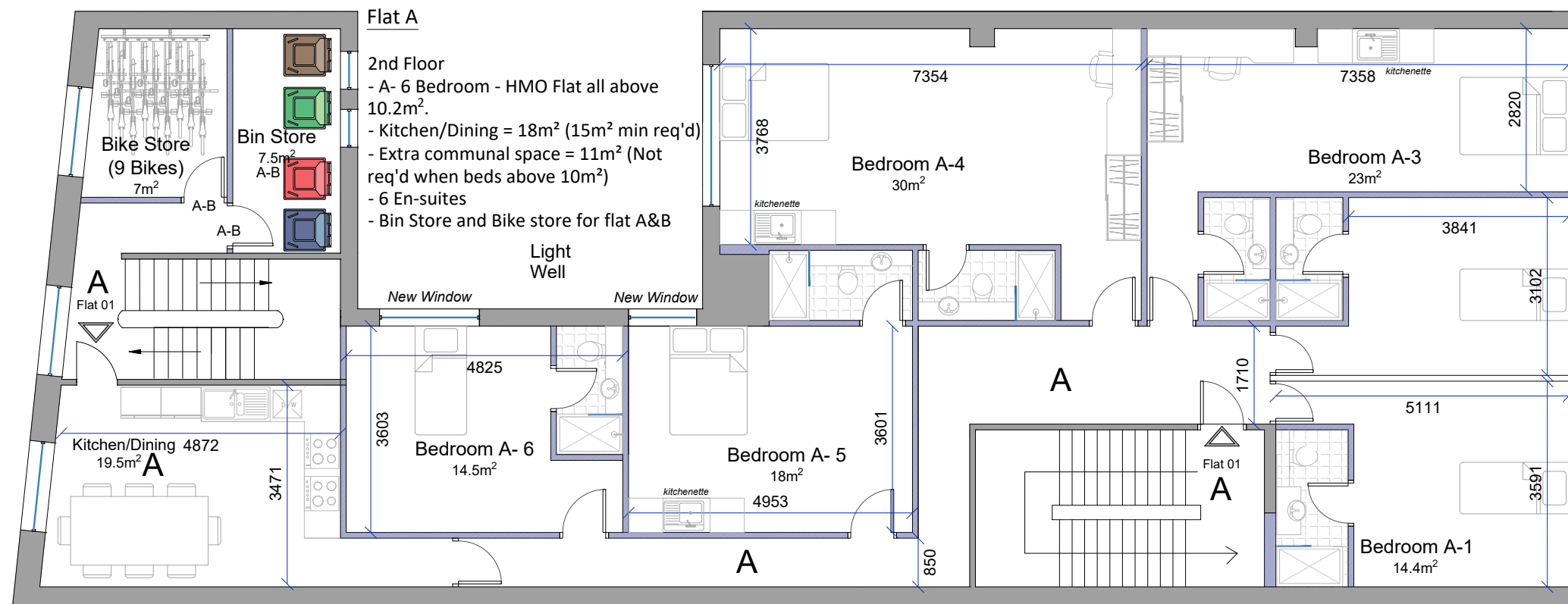
**Date:** 18-01-2023

**Paper:** A3

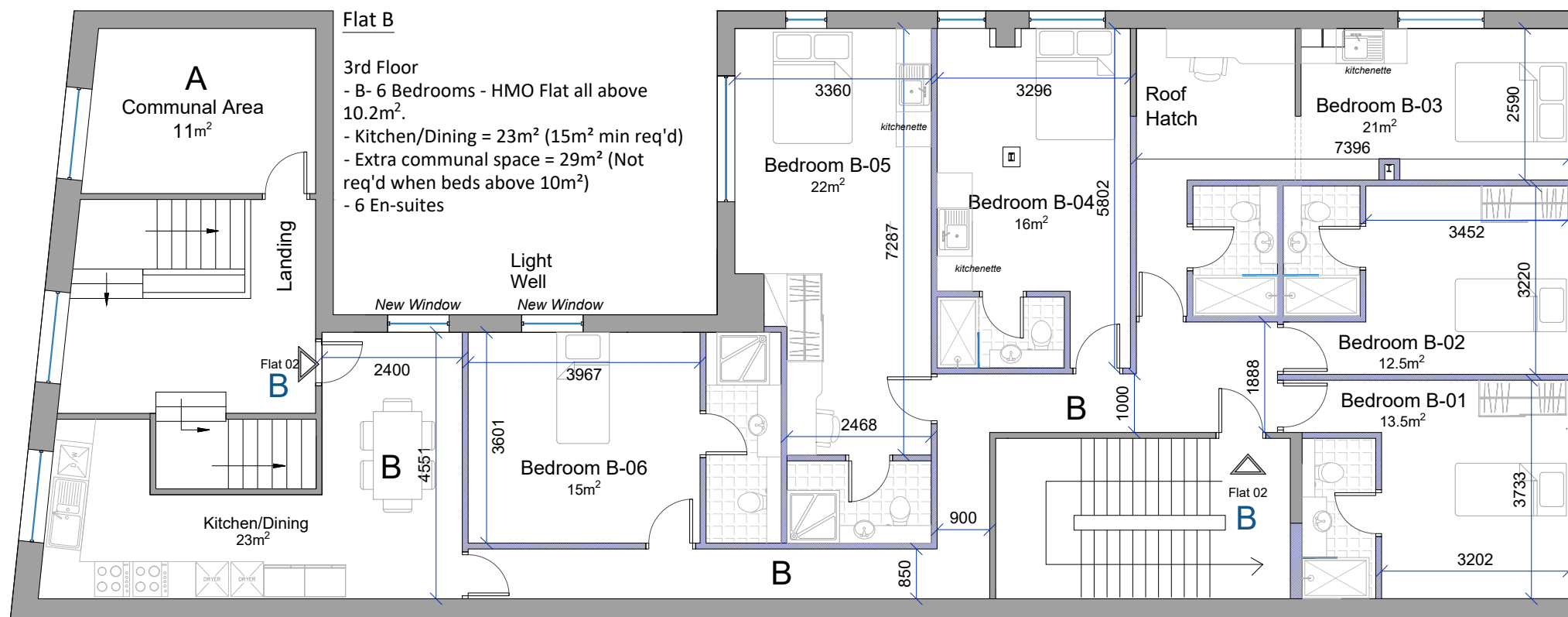
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**Scale:** 1:100

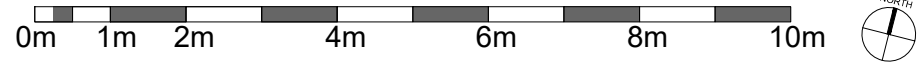
<b>Revision:</b>					
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Proposed Second Floor Plan (Area: 212.6 m<sup>2</sup>)



Proposed Third Floor Plan (Area: 212.6 m<sup>2</sup>)



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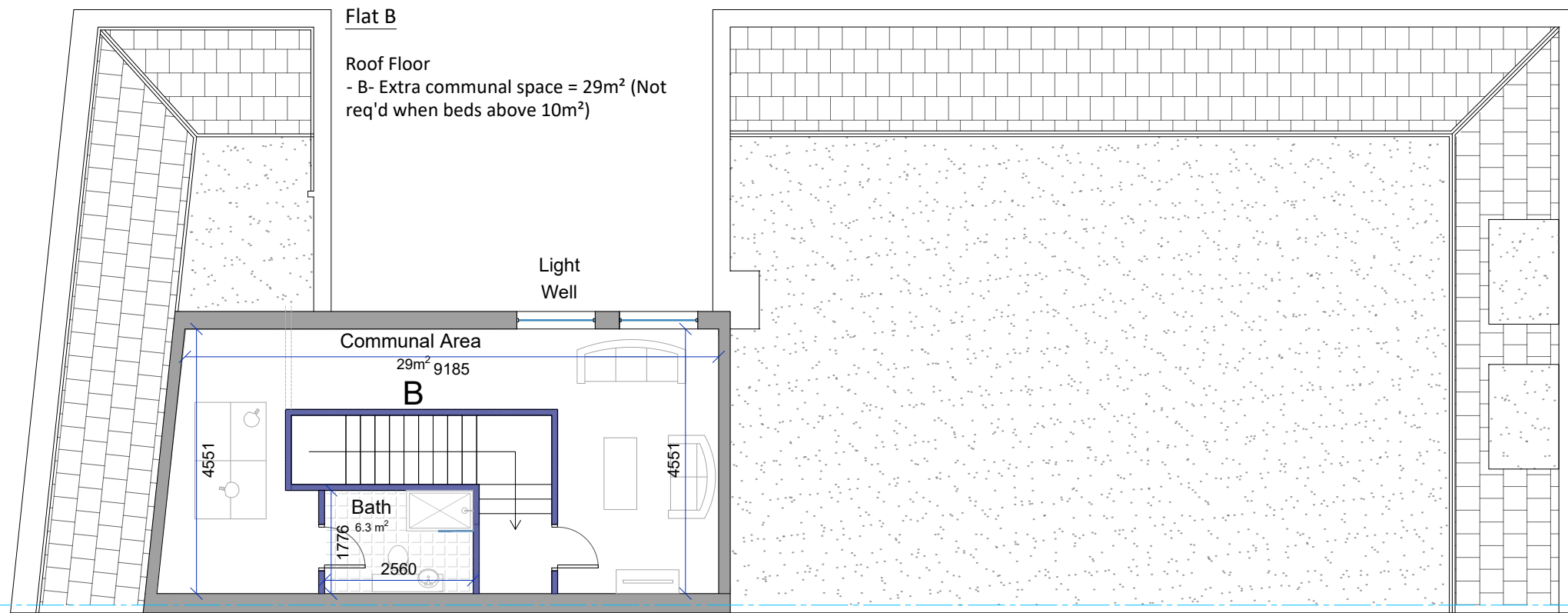
**Revisions List:**

 <b>HAD</b> <a href="http://www.hadmanchester.co.uk">www.hadmanchester.co.uk</a> 0161 327 2529	
<b>Address:</b> Unit 1 Victoria Plaza, Oxford Street, Bolton, BL1 1RD	
<b>Title:</b> Proposed Plans 02	<b>Drawn:</b> HA
<b>Client:</b> Peter Wu	<b>Checked:</b>
<b>Date:</b> 18-01-2023	<b>Paper:</b> A3
<b>Drawing No:</b> HAD3452-05	<b>Scale:</b> 1:100
<b>Revision:</b>	



**Unit 1 Victoria Plaza:**

Total Area: 1181.5m<sup>2</sup> Mixed Use  
 Commercial Use: 713.5m<sup>2</sup>  
 Residential Use: 468m<sup>2</sup>



**Proposed Roof Floor Plan**  
 (Area: 42.8 m<sup>2</sup>)



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**Revisions List:**

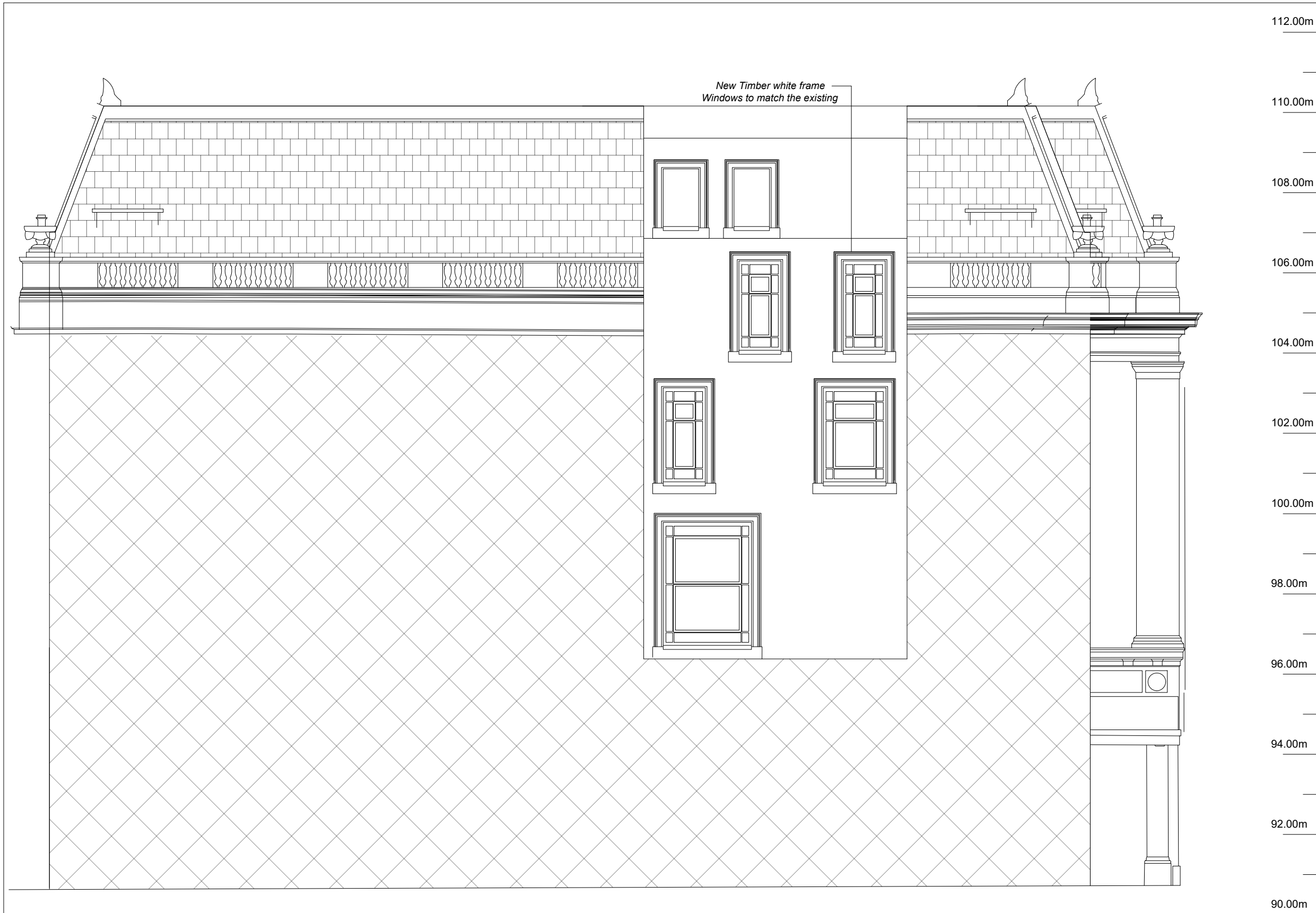
No.	Description	Date



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**Address:** Unit 1 Victoria Plaza,  
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<b>Title:</b> Proposed Roof Plan	<b>Drawn:</b> HA
<b>Client:</b> Peter Wu	<b>Checked:</b>
<b>Date:</b> 18-01-2023	<b>Paper:</b> A3
<b>Drawing No:</b> HAD3452-06	<b>Scale:</b> 1:100
<b>Revision:</b>	



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 Do not scale off the drawings, if in doubt ask.  
 HAD are not liable for any work undertaken prior to Full Planning Consent and/or Building Regulations Approval.  
 Any structural works should be checked and verified by a suitably qualified structural engineer before works commence.  
 All drainage is assumed and should be clarified on site by the contractor.

**CDM REGULATIONS 2015**  
 The client must abide by the Construction Design and Management Regulations 2015. The client must appoint a contractor, if more than one contractor is to be involved, the client will need to appoint (in writing) a principal designer (to plan, manage and coordinate the planning and design work) and a principal contractor (to plan, manage and coordinate the construction and ensure there are arrangements in place for managing and organising the project).

**Domestic clients**  
 The domestic client is to appoint a principal designer and a principal contractor when there is more than one contractor, if not your duties will automatically transferred to the contractor or principal contractor.  
 The designer can take on the duties, provided there is a written agreement between you and the designer to do so.

The Health and Safety Executive is to be notified as soon as possible before construction work starts if the works:  
 (a) Last longer than 30 working days and has more than 20 workers working simultaneously at any point in the project.  
 Or:  
 (b) Exceeds 500 person days.

**PARTY WALL ACT**  
 The owner, should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Structure Notice on any adjoining owner if building work on, to or near an existing Party Wall involves any of the following:  
 • Support of beam  
 • Insertion of DPC through wall  
 • Raising a wall or cutting off projections  
 • Demolition and rebuilding  
 • Underpinning  
 • Insertion of lead flashings  
 • Excavations within 3 metres of an existing structure where the new foundations will go deeper than adjoining foundations, or within 6 metres of an existing structure where the new foundations are within a 45 degree line of the adjoining foundations.  
 A Party Wall Agreement is to be in place prior to start of works on site.

**THERMAL BRIDGING**  
 Care shall be taken to limit the occurrence of thermal bridging in the insulation layers caused by gaps within the thermal element, (i.e. around windows and door openings). Reasonable provision shall also be made to ensure the extension is constructed to minimise unwanted air leakage through the new building fabric.

**MATERIALS AND WORKMANSHIP**  
 All works are to be carried out in a workmanlike manner. All materials and workmanship must comply with Regulation 7 of the Building Regulations, all relevant British Standards, European Standards, Agreement Certificates, Product Certification of Schemes (Kite Marks) etc. Products conforming to a European technical standard or harmonised European product should have a CE marking.

**Revisions List:**


**HAD**  
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**Address:** Unit 1 Victoria Plaza,  
 Oxford Street,  
 Bolton,  
 BL1 1RD

**Title:** Proposed Elevations      **Drawn:** HA

**Client:** Peter Wu      **Checked:**

**Date:** 18-01-2023      **Paper:** A3

**Drawing No:** HAD3452-07      **Scale:** 1:100

**Revision:**

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**PROPOSED SIDE ELEVATION**  
 1:200 @ A3